



PREPARED BY:

PHONE:

PREPARED FOR:

TO THE BEST OF MY KNOWLEDGE THESE DRAWINGS ARE DRAWN TO COMPLY WITH OWNERS' REQUIREMENTS AND ALL APPLICABLE CODES. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND MATERIALS. AFTER PRINTS ARE MADE, ALL DIMENSIONS SHALL BE CHECKED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING ALL DIMENSIONS AND MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING ALL DIMENSIONS AND MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING ALL DIMENSIONS AND MATERIALS.

AUSEL  
 (2169-20)  
 RESIDENCE/ HOME OWNER

03-14-2021  
 03-17-2021  
 06-11-2021

PLOT DATE

1

2169-20

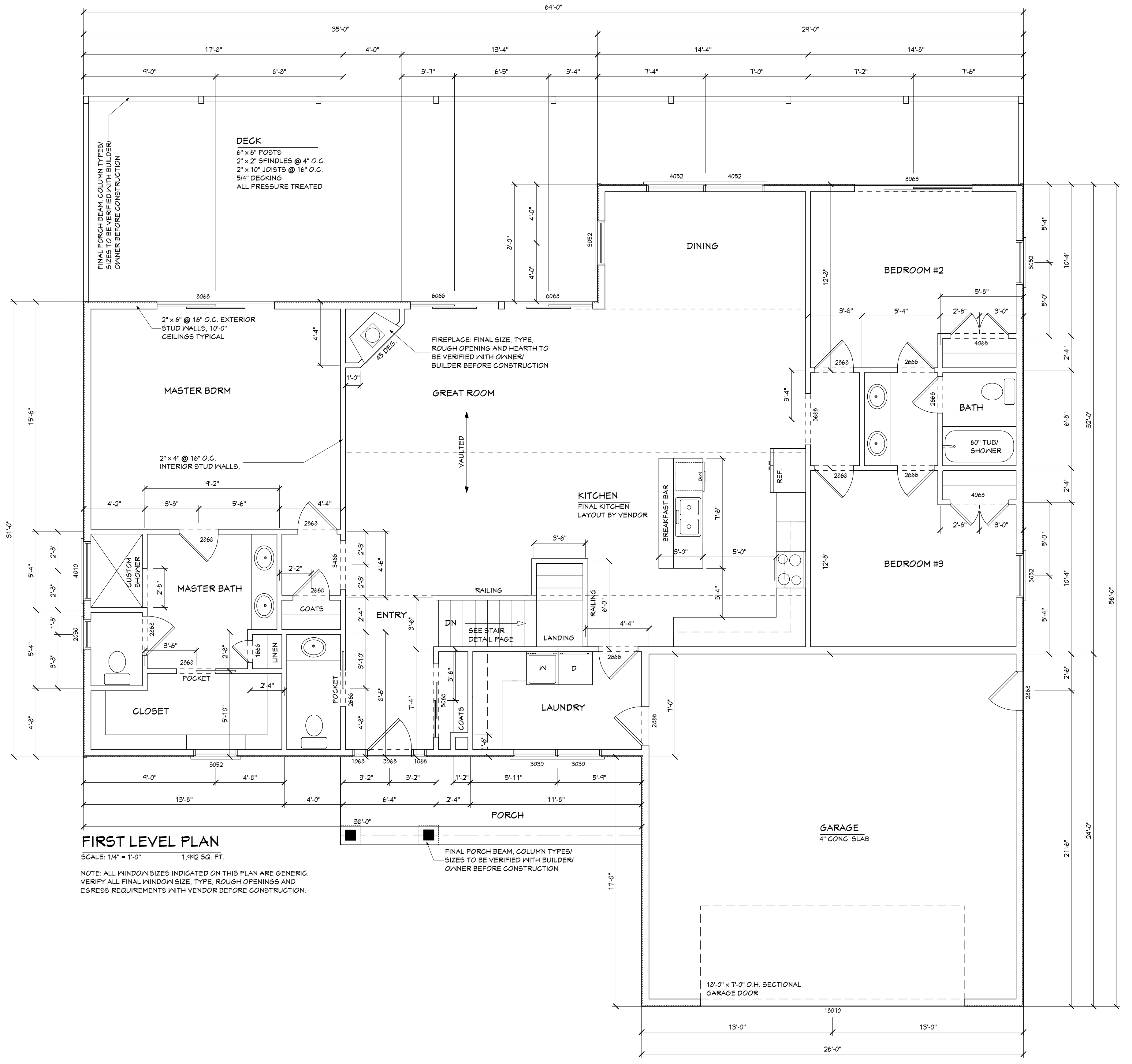


**UTILITY WARNING**  
 3 WORKING DAYS BEFORE YOU DIG  
 CALL MISS DIG  
 800-452-7111 (TOLL FREE)  
 www.missdig.org

Underground utility locations, as shown on the plan, were obtained from utility owners and were not field located. A minimum of 3 working days prior to beginning construction, the contractor shall notify "MISS DIG" and have all underground utilities staked before any work may begin. The contractor shall be responsible for the protection of all utilities that may interfere with construction. Protection of utilities shall be incidental to construction.

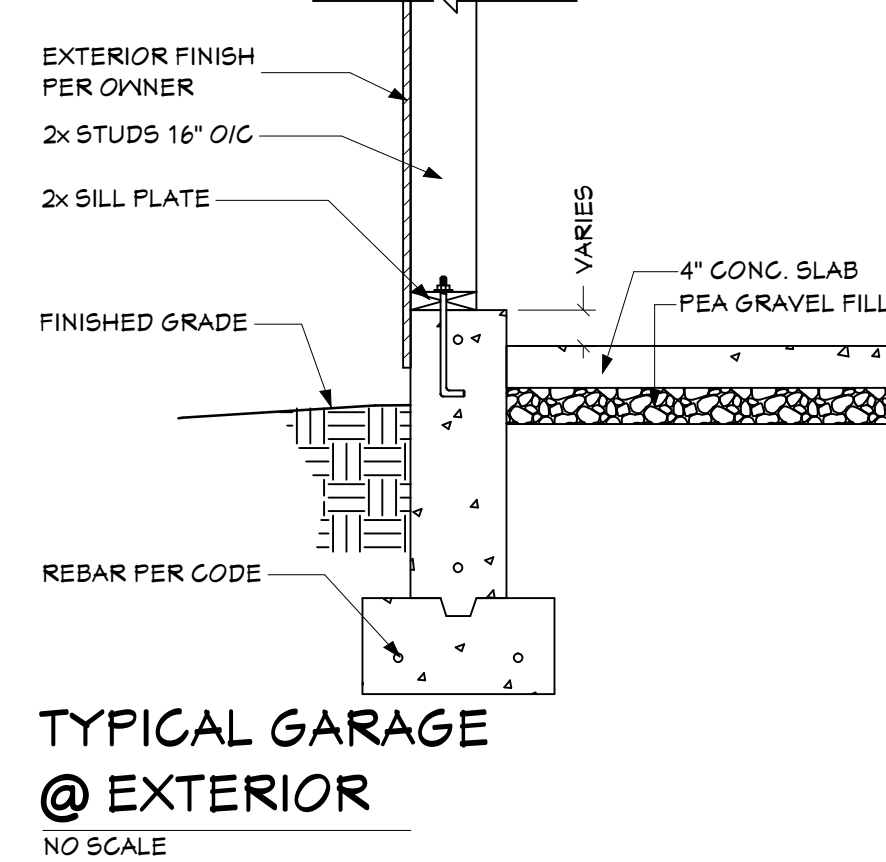
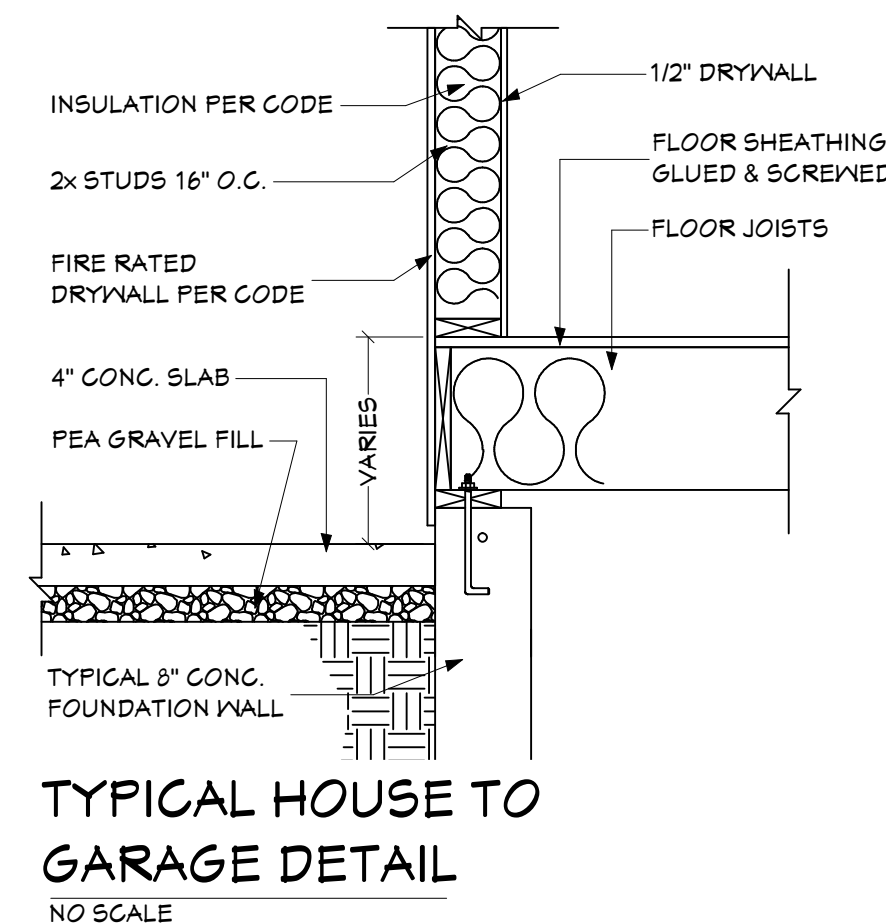
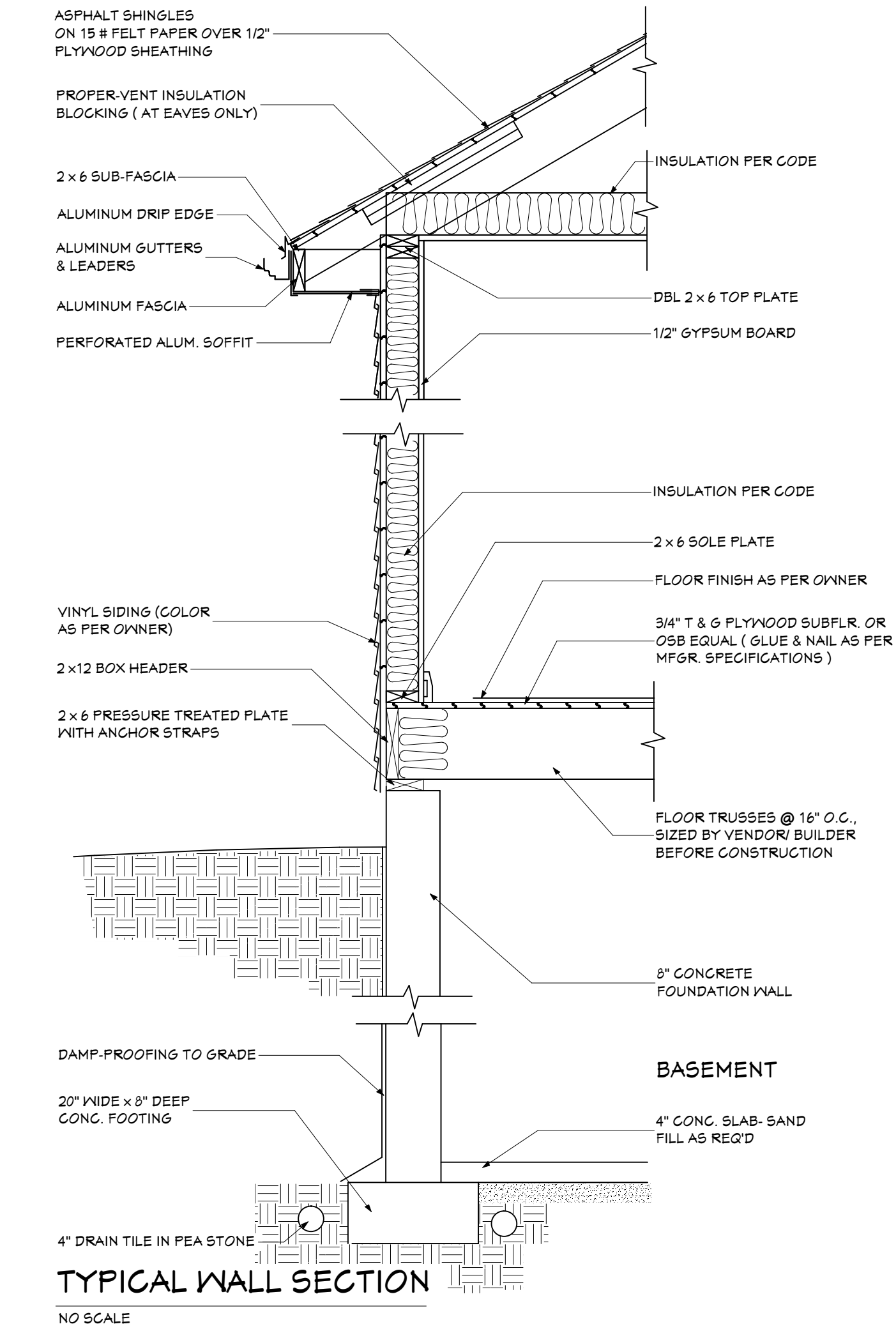
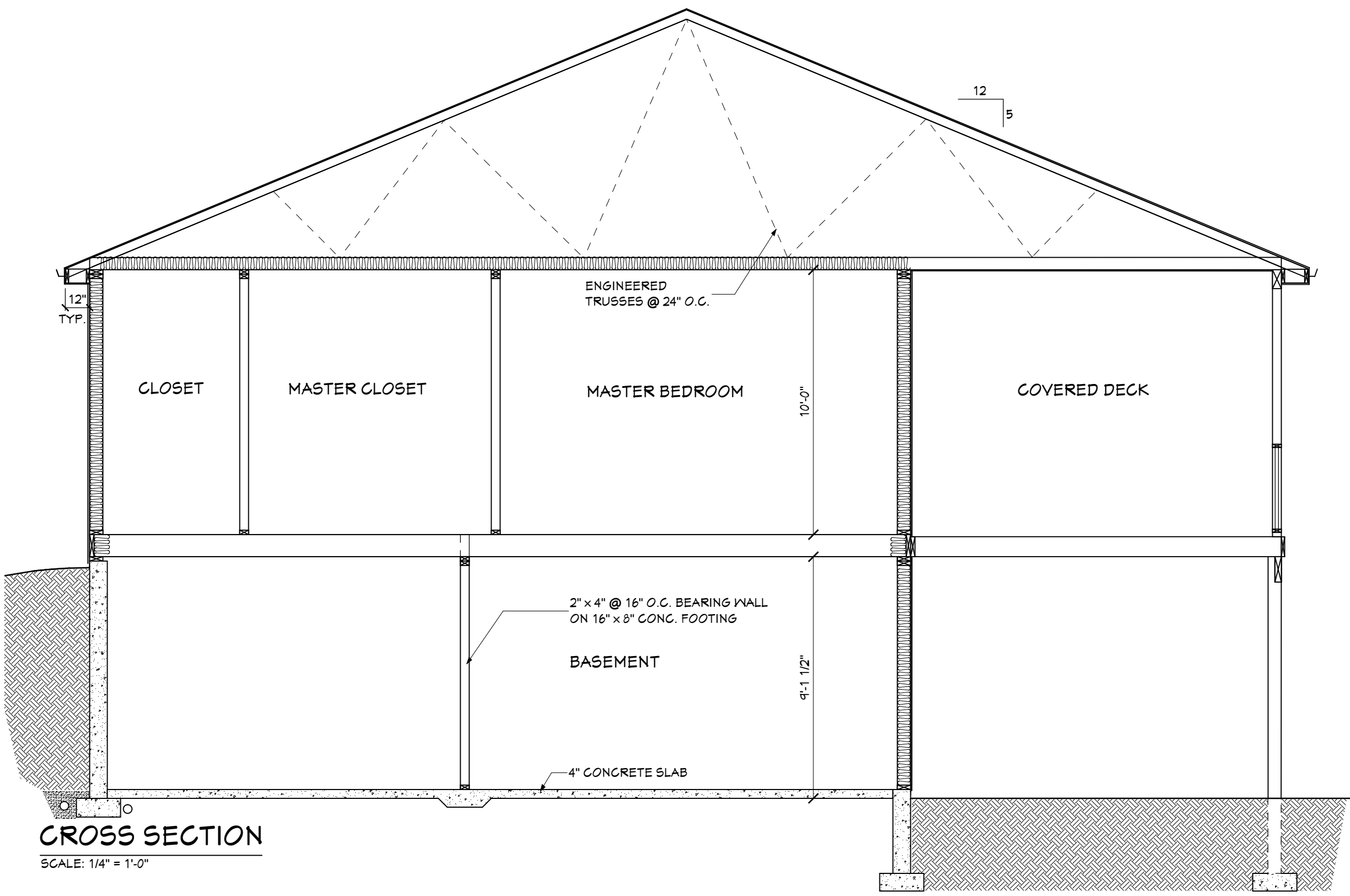
**GENERAL PLAN NOTES**

- Contractor shall construct project in compliance with the Michigan Residential Code incorporating the current edition of the International Residential Code for One and Two Family Dwellings.
- Contractor shall verify local zoning ordinance requirements and construct residence in compliance with all requirements including setbacks, front, side, and rear yards, building size and exterior material requirements.
- Contractor shall verify subdivision/ condominium requirements and construct residence in compliance with all requirements including setbacks, front, side and rear yards, building size and exterior material requirements.
- Contractors shall review and verify all dimensions. Do not scale these drawings, use dimensions indicated on the drawings and those verified at the project site.
- The contractor is responsible for obtaining proper building permit from the local authorities.
- Applicable federal, state or local acts, codes, laws, ordinances, and regulations, etc. shall be considered as part of the requirements for this project and shall take precedent over these drawings and specifications.
- Licensed contractors shall obtain the proper permits from authorities having jurisdiction shall complete all mechanical, plumbing, and electrical work.
- The contractor shall assume that he may be required to provide the highest quality of work and the greatest quantity of materials required for a complete project conforming to all noted codes, whether or not such materials required for such conformance are indicated in these plans.
- Dimensions indicated are to:  
 Exterior face of concrete walls;  
 Exterior face of exterior wall studs;  
 Center line of interior walls;  
 Center line of doors and windows.
- All window numbers indicated are generic. Verify all window sizes, rough openings, types and egress requirements with builder/ vendor before construction.
- All wood in contact with earth, concrete, concrete masonry, clay masonry, or exposed to the weather shall be pressure treated to resist decay.
- Provide nonabsorbent finish and backing at bathroom walls and floor. Provide 4" base and water resistant gypsum drywall on surfaces adjacent to water closets, lavatories, sinks and tubs.
- INTERIOR WALL TYPE I:  
 Dimensioned at 4" nominal, 1/2" gypsum drywall each side of 2x4 wood studs at 16" on center.
- EXTERIOR WALL, TYPE II:  
 Dimensioned at 6" nominal, 1/2" gypsum drywall over 4 mil vapor barrier at interior side of 2x6 wood studs @ 16" on center. Fill wall cavity with insulation per code. Exterior shall be covered with 1/2" minimum exterior structural wood sheathing, air infiltration barrier and exterior finish type by owner.
- Smoke detection alarm devices shall be installed in accordance with MRC and NFPA, including within each sleeping room, in area immediately outside of sleeping areas, in furnace/ water heating utility room and a minimum of one in the general opening area on each floor. Smoke detection alarm devices shall receive primary power from building wiring on dedicated circuit and shall be interconnected smoke detection alarm devices with battery backup so that all devices will sound when any device is activated by smoke detection.
- Provide a carbon monoxide detection alarm in area immediately outside of sleeping area.
- Door numbers represent the door size. The first two digits of the door size refers to the door width in feet and inches. The second two digits refer to the door height in feet and inches. (i.e. 3065 represents 3'-0" wide by 6'-5" high door)



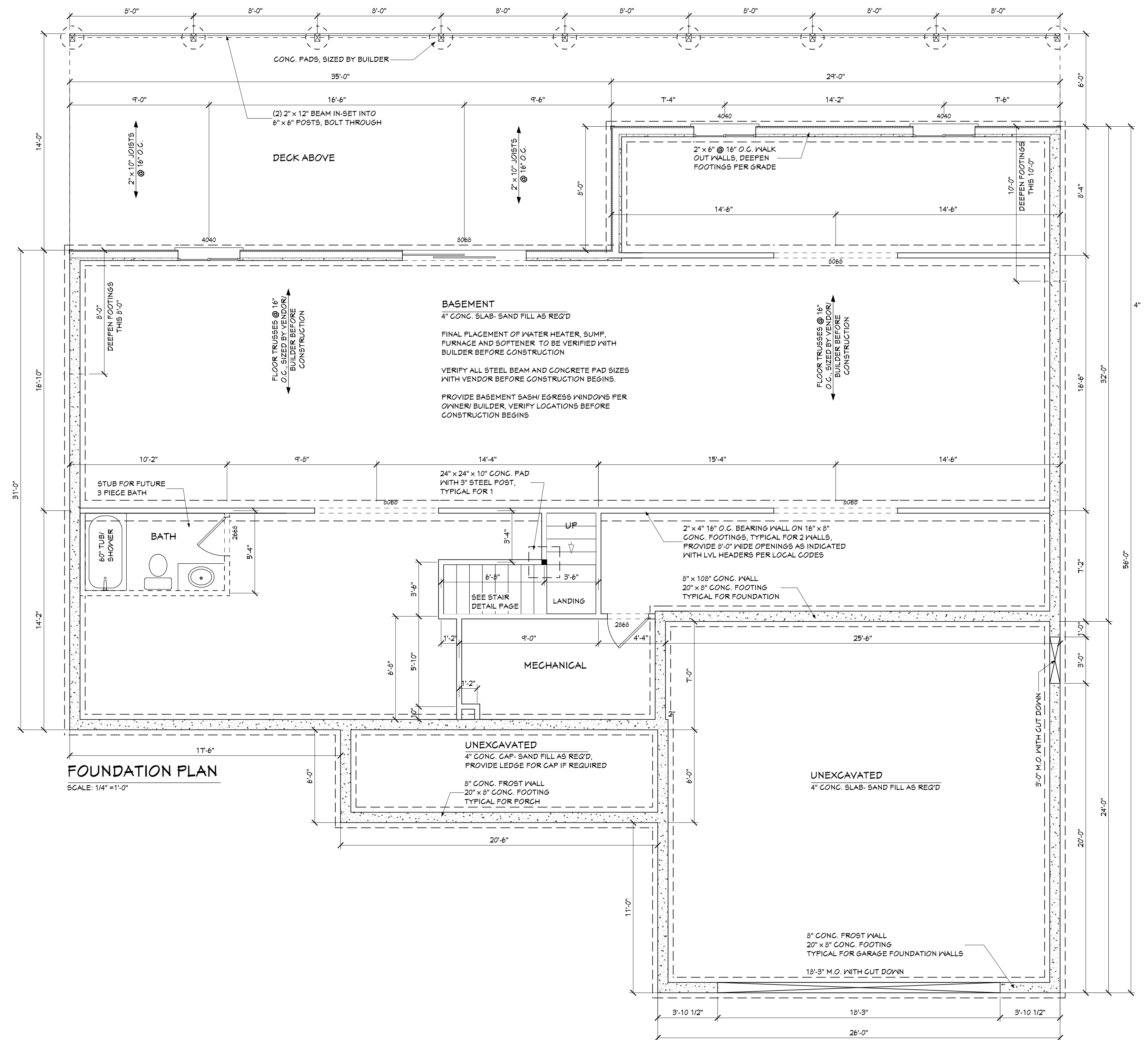
**FIRST LEVEL PLAN**  
 SCALE: 1/4" = 1'-0" 1,992 S.Q. FT.

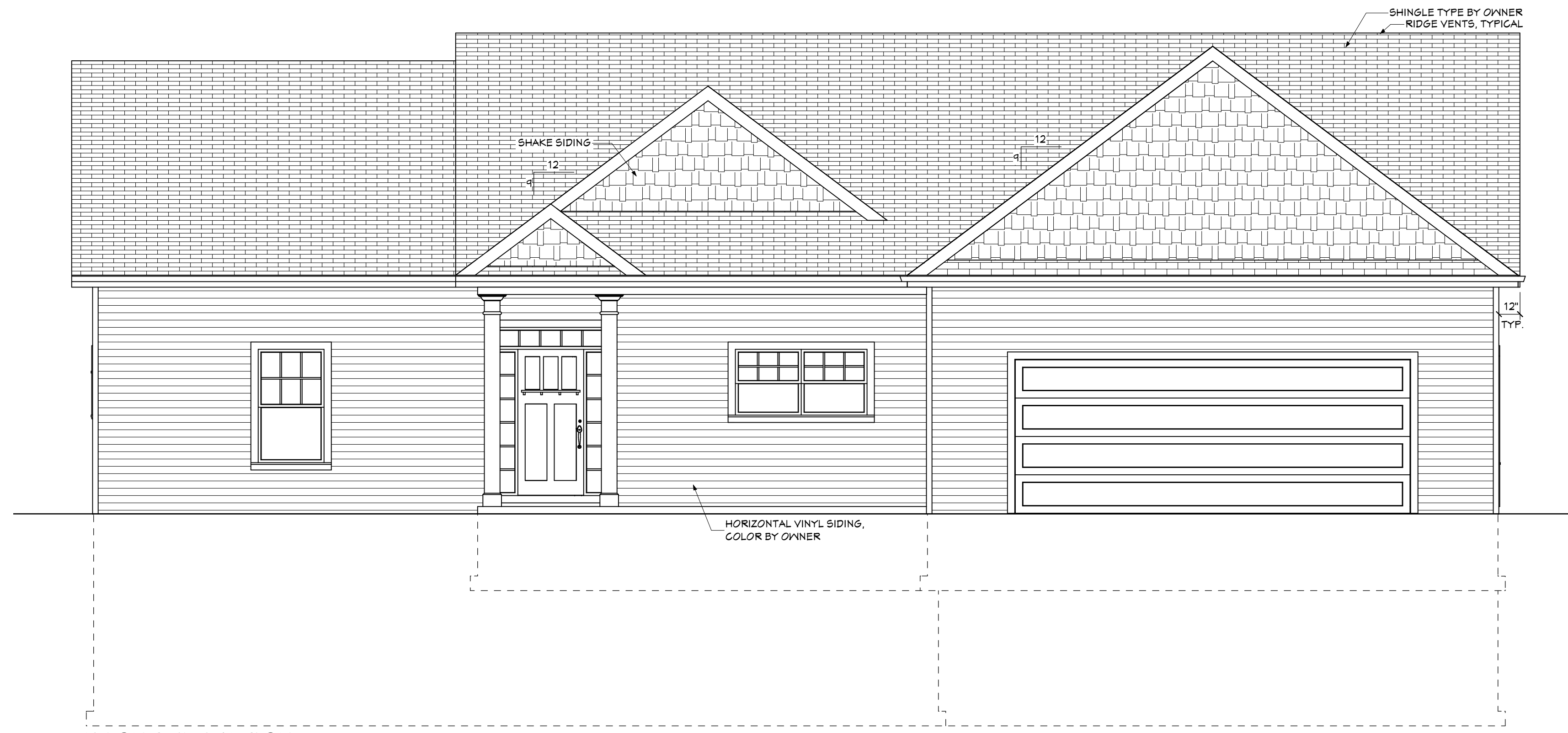
NOTE: ALL WINDOW SIZES INDICATED ON THIS PLAN ARE GENERIC. VERIFY ALL FINAL WINDOW SIZE, TYPE, ROUGH OPENINGS AND EGRESS REQUIREMENTS WITH VENDOR BEFORE CONSTRUCTION.



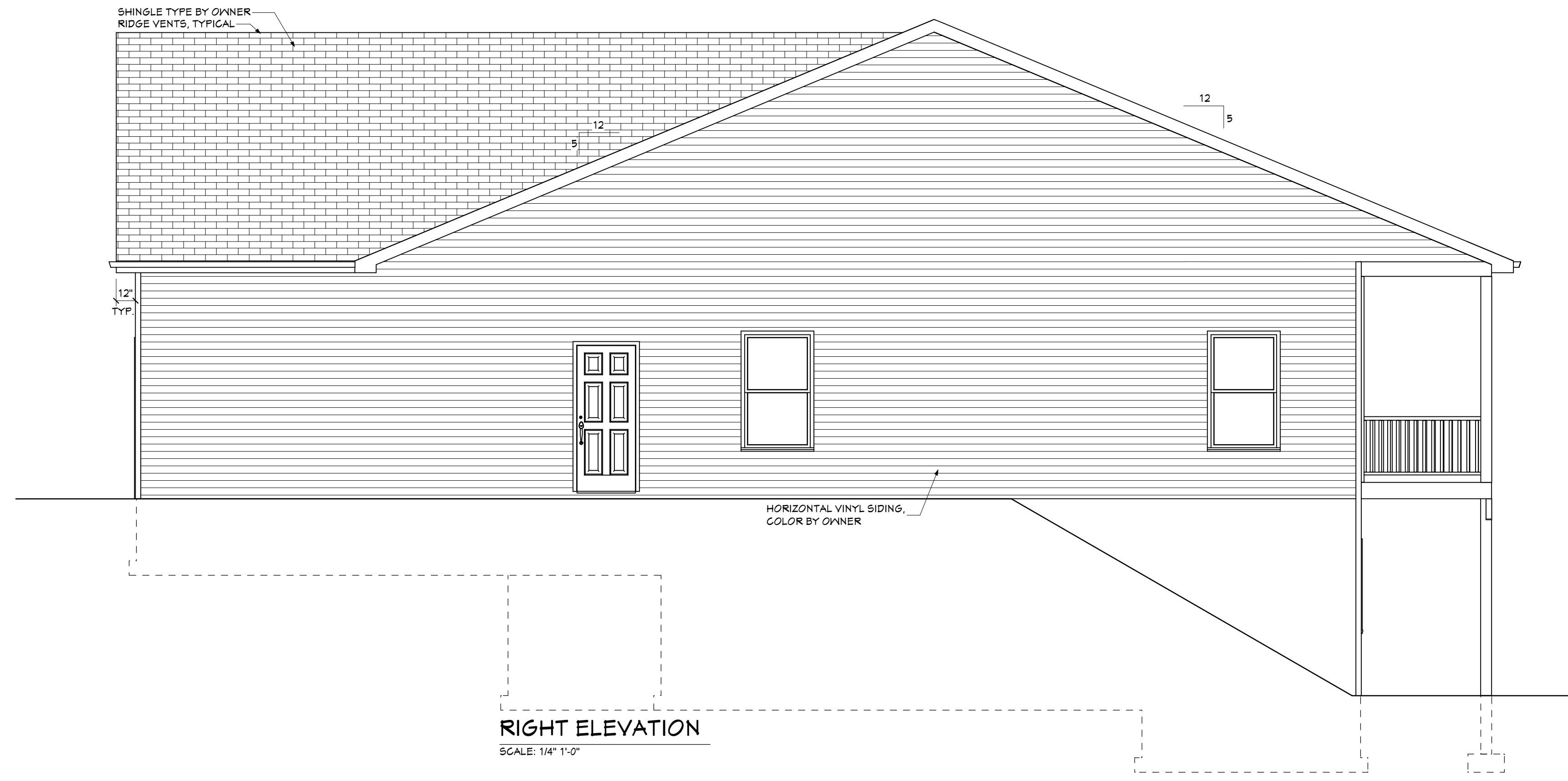
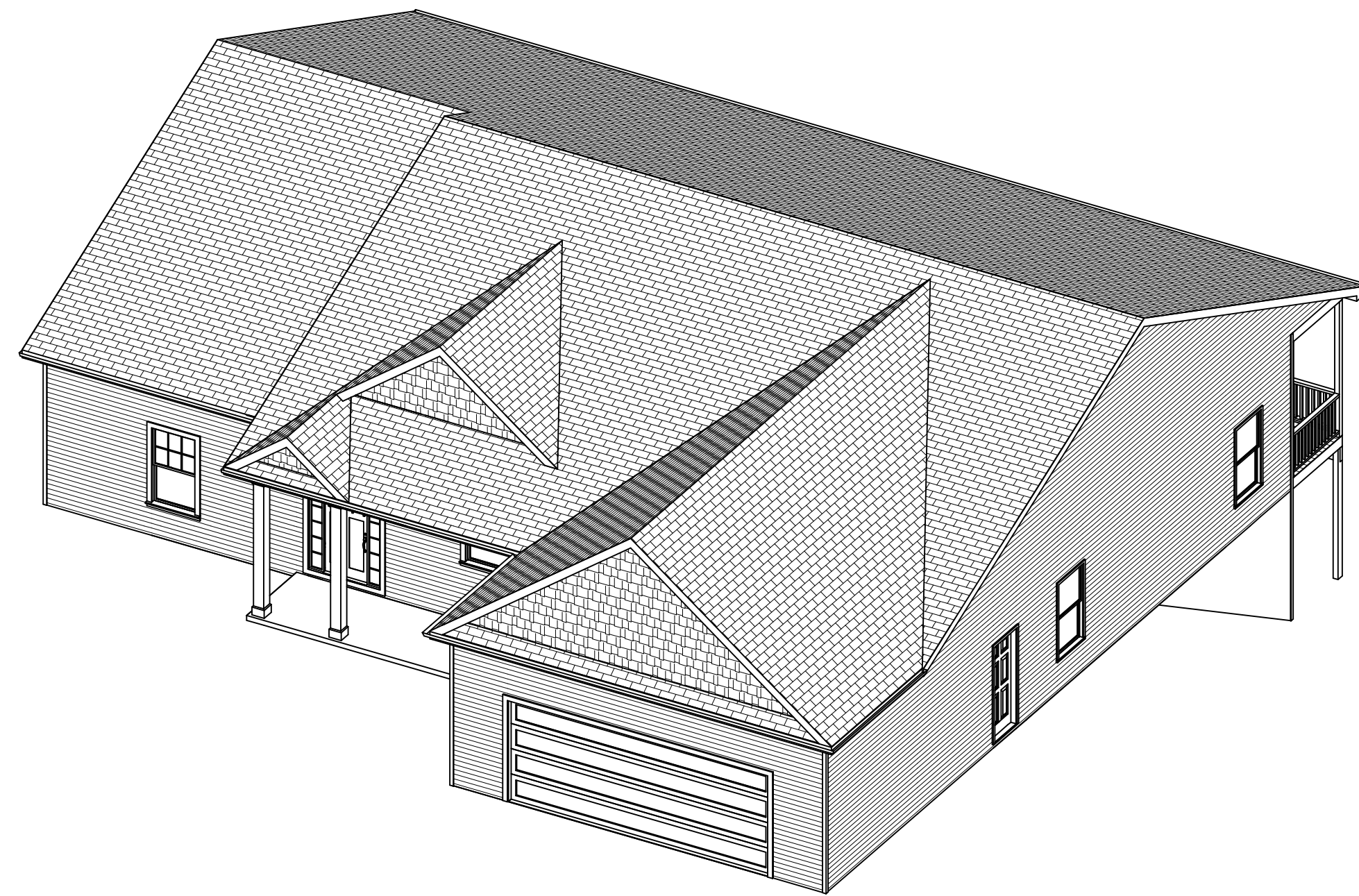
**GENERAL FOUNDATION PLAN NOTES**

- Do not scale these drawings, use dimensions indicated on the drawings and those verified at the project site. Any dimensions or areas that are unclear on the drawings shall be clarified by the owner's representative. Scaling of these drawings or other methods to determine dimensions will not be acceptable.
- Bottom of all footings exposed to frost shall be minimum of 3'-6" below grade. Verify grades.
- During construction, the contractor shall provide for testing of soil capacity and ground water elevations at footing locations. Testing shall be performed by a Soils Engineer licensed in the State of Michigan. Engineer shall submit report of findings and recommendations for foundations and ground water impact on foundations.
- Testing: independent testing agency to design concrete mixes and to perform material evaluation tests. Provide T and 28 day cylinder tests. Comply with ASTM C143, C113, C31 and C34.
- All foundation walls shall have adequate temporary bracing before backfill is placed against them. Temporary bracing shall not be removed until wall is permanently braced.
- Standard procedures of frost protection for footings and footing excavation shall be used for winter construction. Backfilling of footing excavations shall be done as soon as possible to protect footings from frost action.
- Provide 1/2" Expansion material joint when concrete slabs and building foundations occur. All expansion joint material shall be pre-mixed and installed per manufacturer's specification requirements.
- Isolation joints: Provide between slabs and vertical elements such as columns and structural walls.
- C.J. Indicates saw cut control joint in slabs on grade. Saw cuts must be made within 12 hours after slab pour. Joint depth shall be 1/4 depth of slab thickness.
- Slope floor slabs to drains and exterior.
- Provide control joints in floor slab at intervals not to exceed 20' x 20'.
- Provide control joints in exterior slabs at intervals not to exceed 10' x 10'.
- Provide control joints in sidewalk slabs at intervals not to exceed 5x 5'.
- Reinforcement:  
Bars: deformed steel, ASTM A15, Grade 60  
Mesh: welded steel wire fabric, ASTM A195
- All Verticals shall have bottom hook of 4" minimum.
- Provide 1/2" Anchor Bolts at 6'-0" on center maximum, minimum 2 bolts for each sill plate above located not more than 12" from end of plate.
- Provide sleeves for all utility (Plumbing, Electric, Cable TV, Telephone), locate as required.
- Patch all concrete floors where removed for sub grade work with 4,000 PSI concrete.
- Provide 6 mil moisture barrier beneath all slabs. Lap edges a minimum of 2'-0".





**FRONT ELEVATION**  
SCALE: 1/4" 1'-0"



**RIGHT ELEVATION**  
SCALE: 1/4" 1'-0"

**M.A.S. RESIDENTIAL HOUSE PLAN DESIGNERS**  
 MATTHEW MORGAN PHONE: (517) 646-6075  
 8759 JUSTONIAN WAY FAX: (517) 646-6075  
 DIMONDAL, MICHIGAN 48821 EMAIL: masrtd@msn.com



NOTE: REFER ALL QUESTIONS REFERRING TO THIS PLAN SET TO BUILDERS OFFICE

PREPARED BY:

PHONE: \_\_\_\_\_  
 PREPARED FOR:

TO THE BEST OF MY KNOWLEDGE THESE DRAWINGS ARE DRAWN TO COMPLY WITH OWNER'S REQUIREMENTS AND I AM NOT PROVIDING CONTRACT ADMINISTRATION SERVICES. THE OWNER'S RESPONSIBILITY IS TO OBTAIN ALL NECESSARY PERMITS AND TO VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. THE ARCHITECT CAN NOT GUARANTEE THE ACCURACY OF THESE DRAWINGS. THE ARCHITECT'S RESPONSIBILITY IS TO PROVIDE CORRECTING DETAILS PRIOR TO CONSTRUCTION AND BE SOLELY RESPONSIBLE THEREAFTER. REFER ALL QUESTIONS ABOUT THIS PLAN SET TO OWNER AND/OR BUILDER.

**AUSEL**  
 (2169-20)  
 RESIDENCE/ HOME OWNER

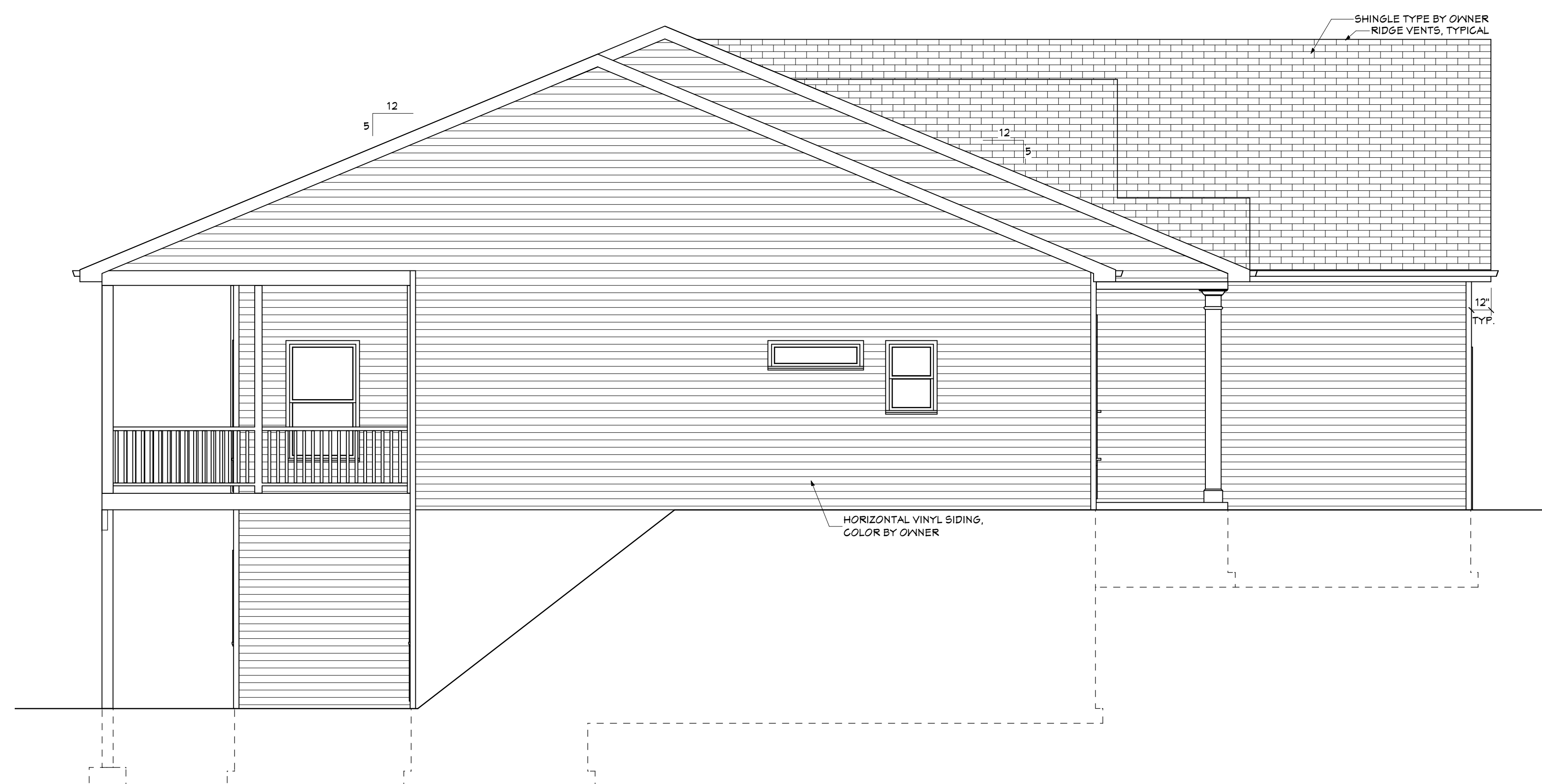
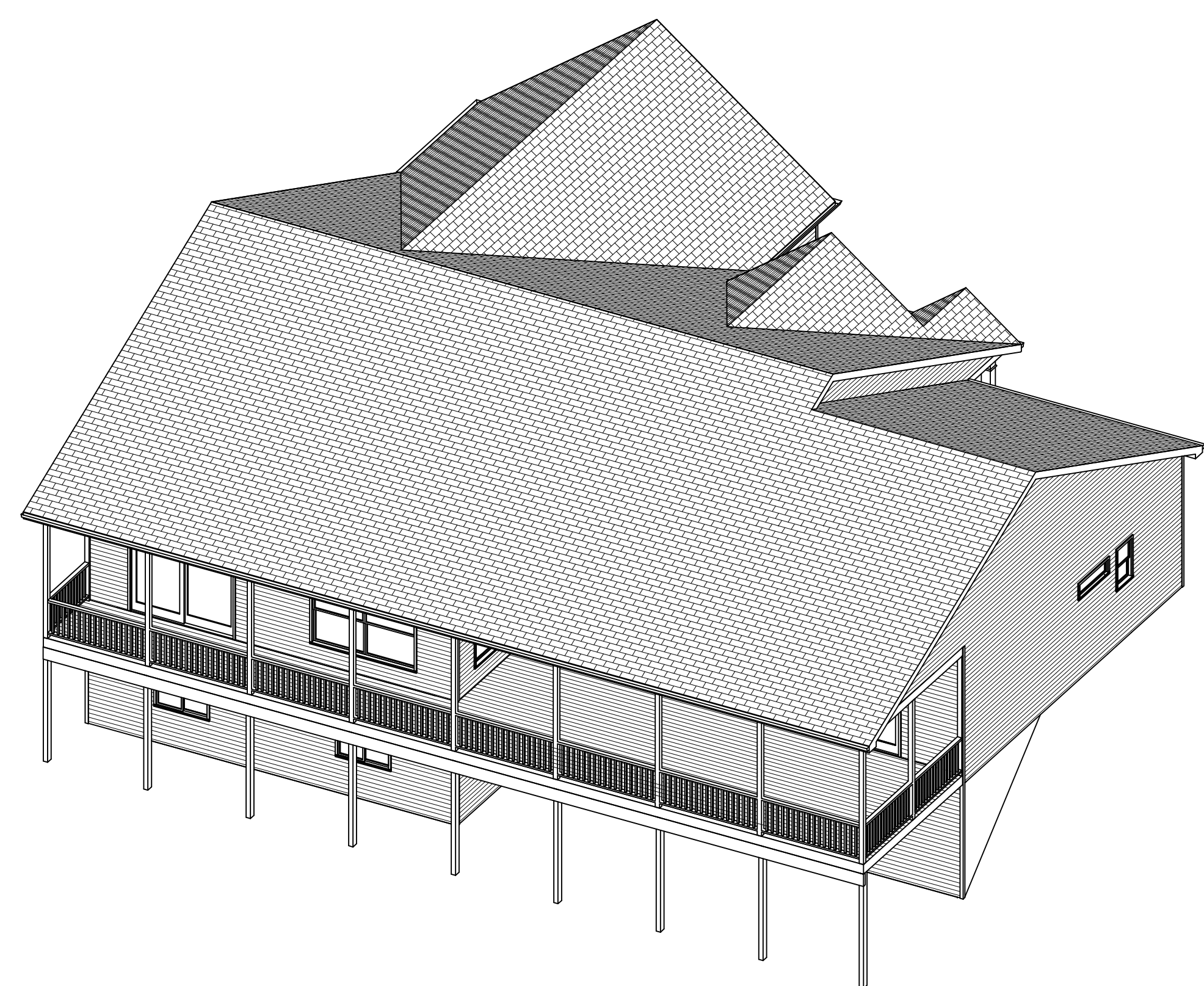
03-14-2021  
 03-17-2021  
 06-11-2021

PLOT DATE

**3**  
 2169-20

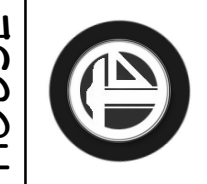


**BACK ELEVATION**  
SCALE: 1/4" = 1'-0"



**LEFT ELEVATION**  
SCALE: 1/4" = 1'-0"

**M.A.S. RESIDENTIAL HOUSE PLAN DESIGNERS**  
 MATTHEW MORGAN    PHONE: (517) 646-6075  
 8759 JUSTONIAN WAY    FAX: (517) 646-6075  
 DIMONDALE, MICHIGAN 48821    EMAIL: masrtd@msn.com



PREPARED BY:

TO THE BEST OF MY KNOWLEDGE THESE DRAWINGS ARE DRAWN TO COMPLY WITH OWNER'S REQUIREMENTS AND I AM NOT PROVIDING CONTRACT ADMINISTRATION SERVICES. THE OWNER'S RESPONSIBILITY IS TO OBTAIN ALL NECESSARY PERMITS AND TO OBTAIN ALL NECESSARY INSURANCE. THE OWNER'S RESPONSIBILITY IS TO OBTAIN ALL NECESSARY INSURANCE. THE OWNER'S RESPONSIBILITY IS TO OBTAIN ALL NECESSARY INSURANCE. THE OWNER'S RESPONSIBILITY IS TO OBTAIN ALL NECESSARY INSURANCE.

**AUSEL**  
(2169-20)  
RESIDENCE/ HOME OWNER

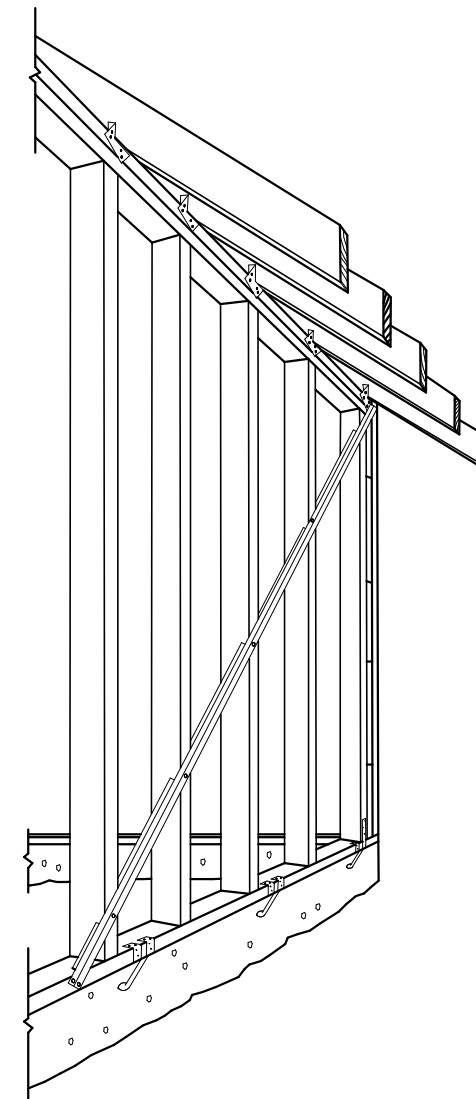
03-14-2021  
03-17-2021  
06-11-2021

PLOT DATE

**4**  
2169-20

**ROOF PLAN/ FRAMING NOTES:**

- Do not scale the drawings, use dimensions indicated on the drawings, and those verified at the project site. Any dimensions or areas that are unclear on the drawings shall be clarified by the owner's representative. Scaling of these drawings or other methods to determine dimensions will not be accepted.
- Applicable federal, state or local acts, codes, laws, ordinances, and regulations, etc. shall be considered as part of the requirements for this project and shall take precedent over these drawings and specifications. The Contractor is responsible for obtaining proper building permit from the local authorities
- WOOD TREATMENT:**  
Preservative treatment: Pressure-treated with waterborne preservatives, to comply with AWPB LP-2 or LP-22, as applicable. Kiln dry to 15% max. moisture content. Treat wood exposed to deterioration by moisture, such as items in contact with roofing, flashing, waterproofing, masonry, concrete, or the ground.
- Comply with manufacturer's requirements for cutting, handling, fastening, and working with treated materials.
- Treat wood subject to insect attack. All sill/sole plates shall be pressure treated.
- Provide diagonal bracing at all wall corners, at each floor level.
- Provide triple studs at bearing locations.
- Coordinate work with other trades.
- PREFABRICATED WOOD TRUSSES:**  
Provide a complete roof framing system that consists of a minimum of roof trusses, permanent lateral bracing, permanent diagonal bracing, strongbacks, and truss bearing connectors (wind hold down clips) and other materials as required.
- PREFABRICATED WOOD TRUSSES:**  
Provide prefabricated gable, mono sloped, scissor, and girder & special profile trusses as required. Submit for review shop drawings and product data prepared by the truss manufacturer's structural engineer licensed in the State of Michigan. Comply with governing codes and regulations.
- Provide plywood sheathing or horizontal ties as required by truss engineer to eliminate horizontal thrusts from scissor and other trusses onto exterior walls.
- PREFABRICATED WOOD TRUSSES:**  
Standard dimension lumber connected by metal plates. Wood: Soft wood meeting stress rating and design requirements. Metal plates: galvanized sheet steel
- Deliver, handle, and store materials in accordance with manufacturer's instructions.
- Install materials and systems in accordance with manufacturer's instructions and approved submittals. Install materials and systems in proper relation with adjacent construction. Coordinate with work of other sections. Restore damaged components, clean and protect work from damage. Provide temporary and permanent bracing as required by design engineer and truss manufacturer.

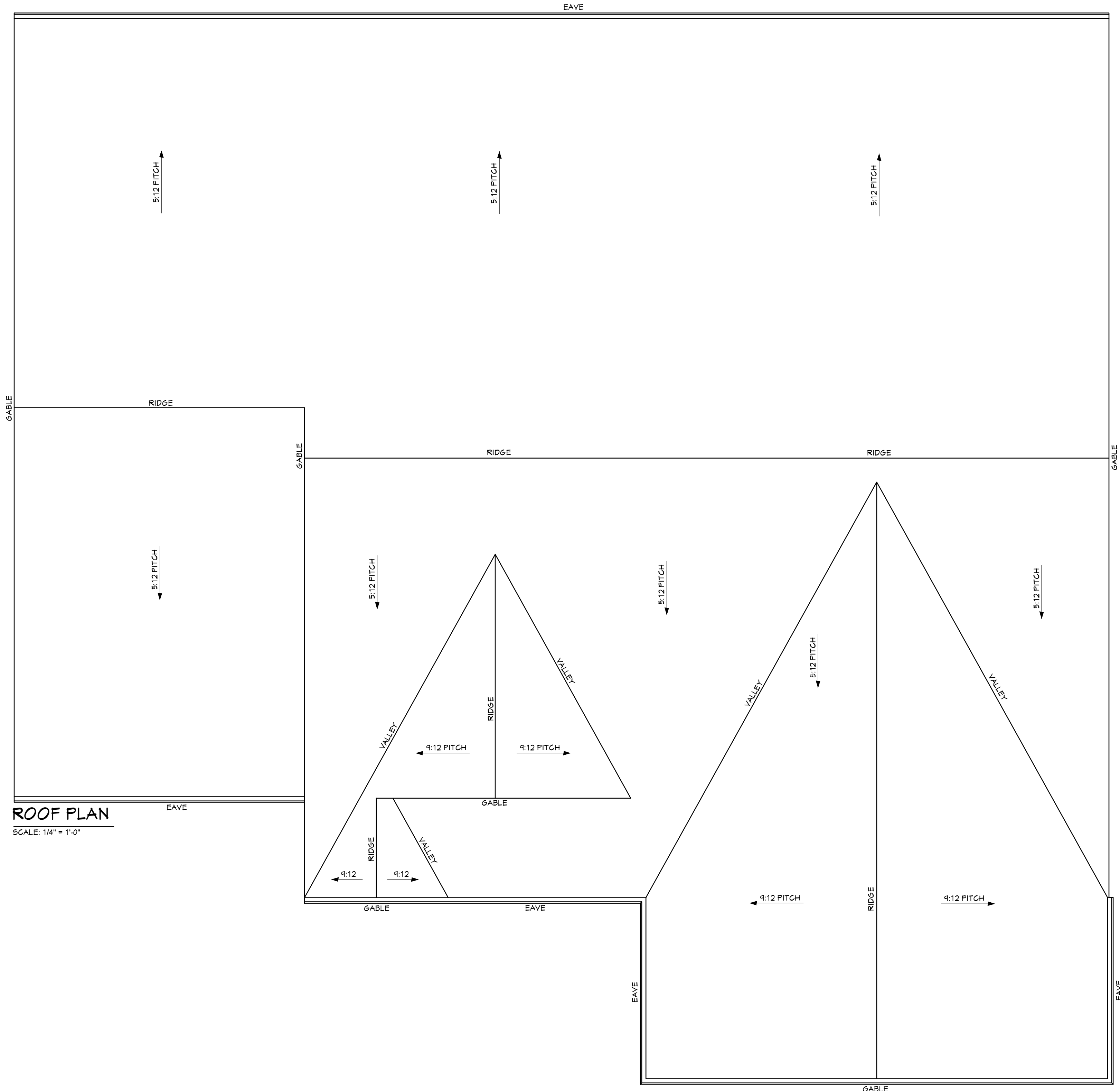


**TYPICAL CORNER BRACING,  
VERIFY WITH LOCAL CODES**

NO SCALE

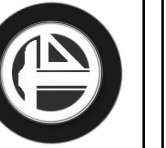
**GENERAL FRAMING NOTES**

- Do not scale these drawings, use dimensions indicated on the drawings and those verified at the project site. Any dimensions or areas that are unclear on the drawings shall be clarified by the owner's representative. Scaling of the drawings or other methods to determine dimensions will not be acceptable.
- All Contractors (General and Sub Contractors, Vendors, and Suppliers) shall review and verify all dimensions and shall notify architect in writing of any discrepancies prior to starting work. Starting work shall be contractor's acceptance of these documents being correct and valid as to their part of the work. Requests for changes based on these drawings after start of work will not be accepted.
- Provide nailers, blocking and grounds where required. Set work plumb, level, and accurately cut.
- Install materials and systems in accordance with manufacturer's instructions and approved submittals. Install materials and systems in proper relation with adjacent construction.
- Coordinate with work of other trades.
- Exterior doors at concrete slab shall be flush with interior floor elevation with threshold no greater than 1/2" in height. Comply with barrier free design rules.
- Structural wood framing requirements.  
Based on spruce-pine-fir #2 or better  
Fb= 875 psi Fc= 1,100 psi E=1,400,000 psi
- Wood nailers, blocking, furring and sleepers: Construction grade, finish 4 sides, 15% moisture content
- The maximum total deflection of wood beams shall not exceed 1/360 of the total span.
- All wood beams shall have a minimum bearing of 4".
- Provide diagonal bracing at all wall corners, at each floor level.
- Provide triple studs at bearing locations.
- PLYWOOD:** APA rated for use and exposure.  
Roof sheathing: AFA sheathing, exterior  
Wall sheathing: AFA sheathing, exterior
- BUILDING PAPER:** Asphalt saturated felt. Non-perforated
- WOOD TREATMENT:**  
Preservative Treatment: Pressure treated with waterborne preservatives, to comply with AWPB LP-2 or LP-22, as applicable. Kiln dry to 15% max. moisture content. Treat wood exposed to deterioration by moisture, such as items in contact with roofing, flashing, waterproofing, masonry, concrete, or the ground.
- Comply with manufacturer's requirements for cutting, handling, fastening, and working with treated materials.
- All sill/sole plates shall be pressure treated.
- Treat wood subject to insect attack.
- Provide fireblocking maximum 10'-0" on center in concealed framing areas (soffits, bulkheads, etc.). Fireblocking shall consist of a full 2x wood member placed horizontally within the stud cavity or fiberglass insulation.
- Provide 1/2" anchor bolts at 6'-0" on center maximum, minimum 2 bolts for each sill plate above located not more than 12" from end of plate.



**ROOF PLAN**

SCALE: 1/4" = 1'-0"



PREPARED BY:

PHONE:  
PREPARED FOR:

TO THE BEST OF MY KNOWLEDGE THESE DRAWINGS ARE DRAWN TO COMPLY WITH OWNER'S REQUIREMENTS AND I AM NOT PROVIDING CONTRACT ADMINISTRATION SERVICES. AFTER PRINTS ARE MADE I WILL BE DOING AT THE OWNER'S AND/OR BUILDER'S EXPENSE AND RETURNING TO ME. I AM NOT PROVIDING CONTRACT ADMINISTRATION SERVICES. THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE BUILDER CAN NOT GUARANTEE CORRECTNESS OF DETAILS PRIOR TO CONSTRUCTION AND BE SOLELY RESPONSIBLE THEREAFTER. REFER ALL QUESTIONS ABOUT THIS PLAN SET TO OWNER AND/OR BUILDER.

**AUSEL**  
 (2169-20)  
 RESIDENCE/ HOME OWNER

03-14-2021  
 03-17-2021  
 06-11-2021

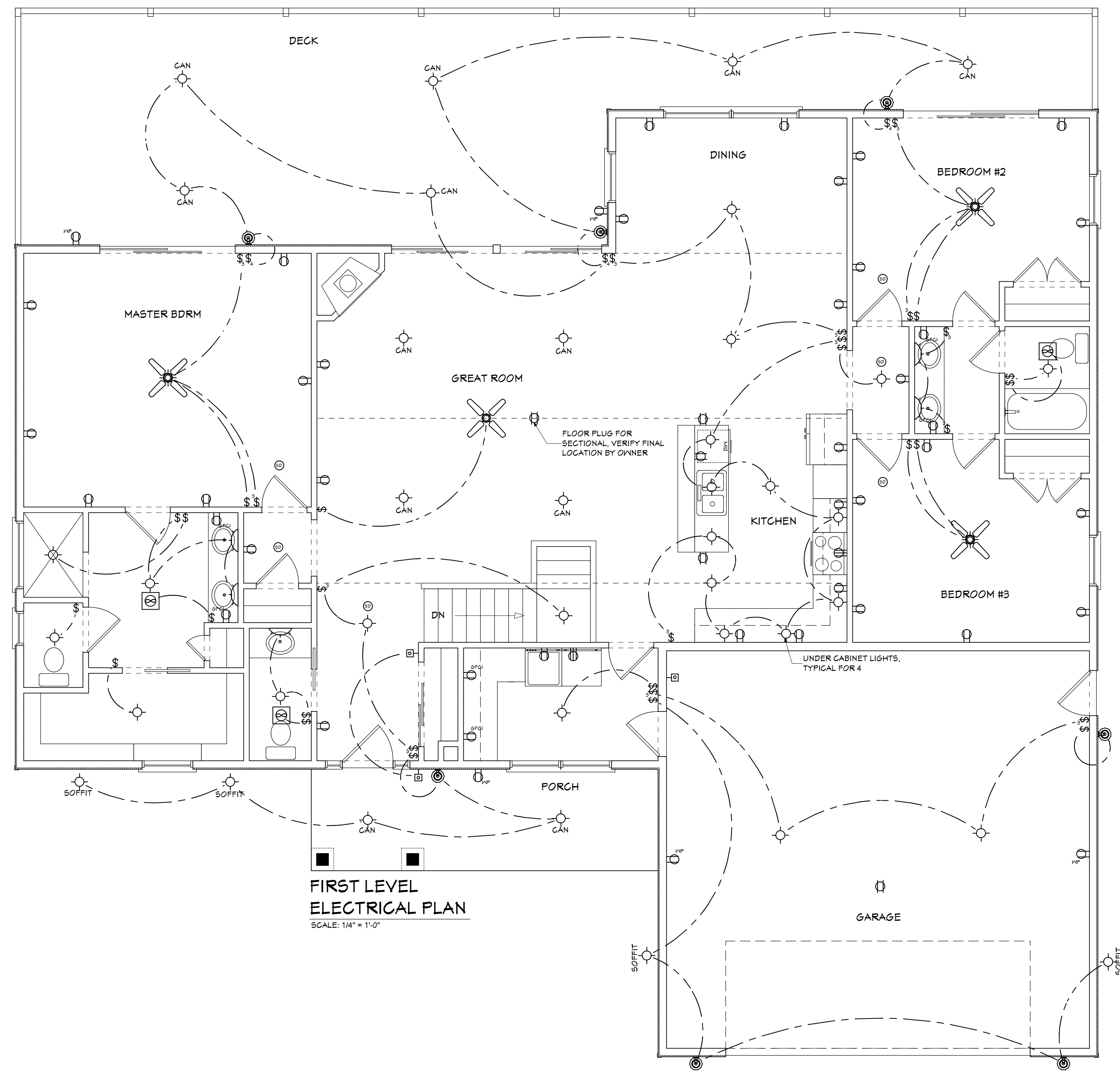
PLOT DATE

**5**

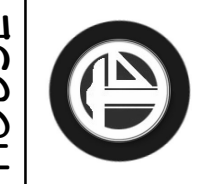
2169-20

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	110V LIGHT FIXTURE
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	110V DUPLEX RECEPTACLE
	110V DUPLEX RECEPTACLE GROUND FAULT INTERRUPTED
	110V DUPLEX RECEPTACLE W/ WEATHERPROOF COVER
	220V RECEPTACLE
	GARAGE DOOR OPENER
	SMOKE DETECTOR
	EXHAUST FAN
	EXHAUST FAN/ LIGHT

This Electrical Layout is for preliminary purposes only. It shall be used as a base only and shall not constitute the final electrical plan for construction. Please review this plan with your Licensed Builder, Sub-Contractor or Electrician to verify your final layout. Verify your final layout to ensure it meets your local code. Electrical fixtures shall be selected by the owner and equipment selected by the General Contractor shall be connected to utility company meters according to code. All switches, outlets, smoke detectors, wiring and panels shall be installed as required by code.



**FIRST LEVEL ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"



PREPARED BY:

PHONE:  
 PREPARED FOR:

TO THE BEST OF MY KNOWLEDGE THESE DRAWINGS ARE DRAWN TO COMPLY WITH OWNERS' REQUIREMENTS AND ALL APPLICABLE CODES. THE DRAWING IS NOT TO BE USED FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN CONSENT OF THE DESIGNER. THE DESIGNER CAN NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED IN THESE DRAWINGS. THE OWNER SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND BE SOLELY RESPONSIBLE FOR ANY CHANGES OR OMISSIONS. THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY CHANGES OR OMISSIONS MADE BY THE OWNER OR SUBCONTRACTORS.

**AUSEL**  
 (2169-20)  
 RESIDENCE/ HOME OWNER

03-14-2021  
 03-17-2021  
 06-11-2021

PLOT DATE

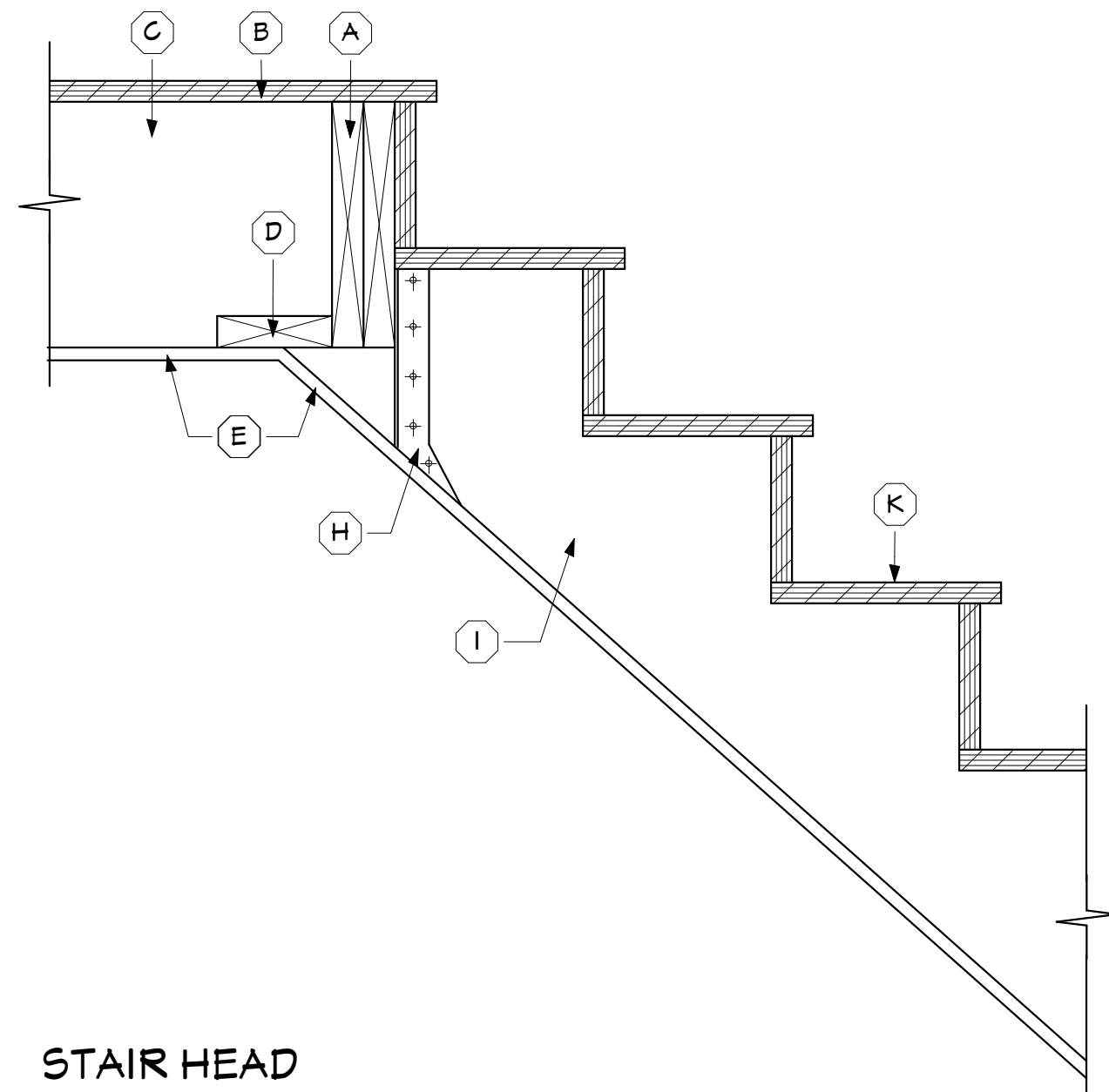
**6**  
 2169-20

**STAIR LEGEND**

- (A) Double 2x floor joists
- (B) Plywood sub-floor
- (C) Floor Joists
- (D) 2x6 blocking
- (E) Interior fire rated drywall if required per code
- (F) Provide tread nosing greater than 3/4" and less than 1 1/4"
- (G) 2x stair stringer
- (H) "Simpson" HU hanger
- (I) 2x12 stair stringer at 12" O.C. w/ one adjacent to wall, typical each side
- (J) Carpet tack strip top and bottom as required, typical
- (K) Allow for finish on plywood
- (L) Alternate: Exterior grade plywood riser/ tread
- (M) "Simpson" HU joist hangers, double blocking to floor joist
- (N) 3/8" diameter lag bolt
- (O) Interior finish
- (P) 1 1/2" round handrail
- (Q) Metal bracket, type by owner
- (R) Concrete floor slab

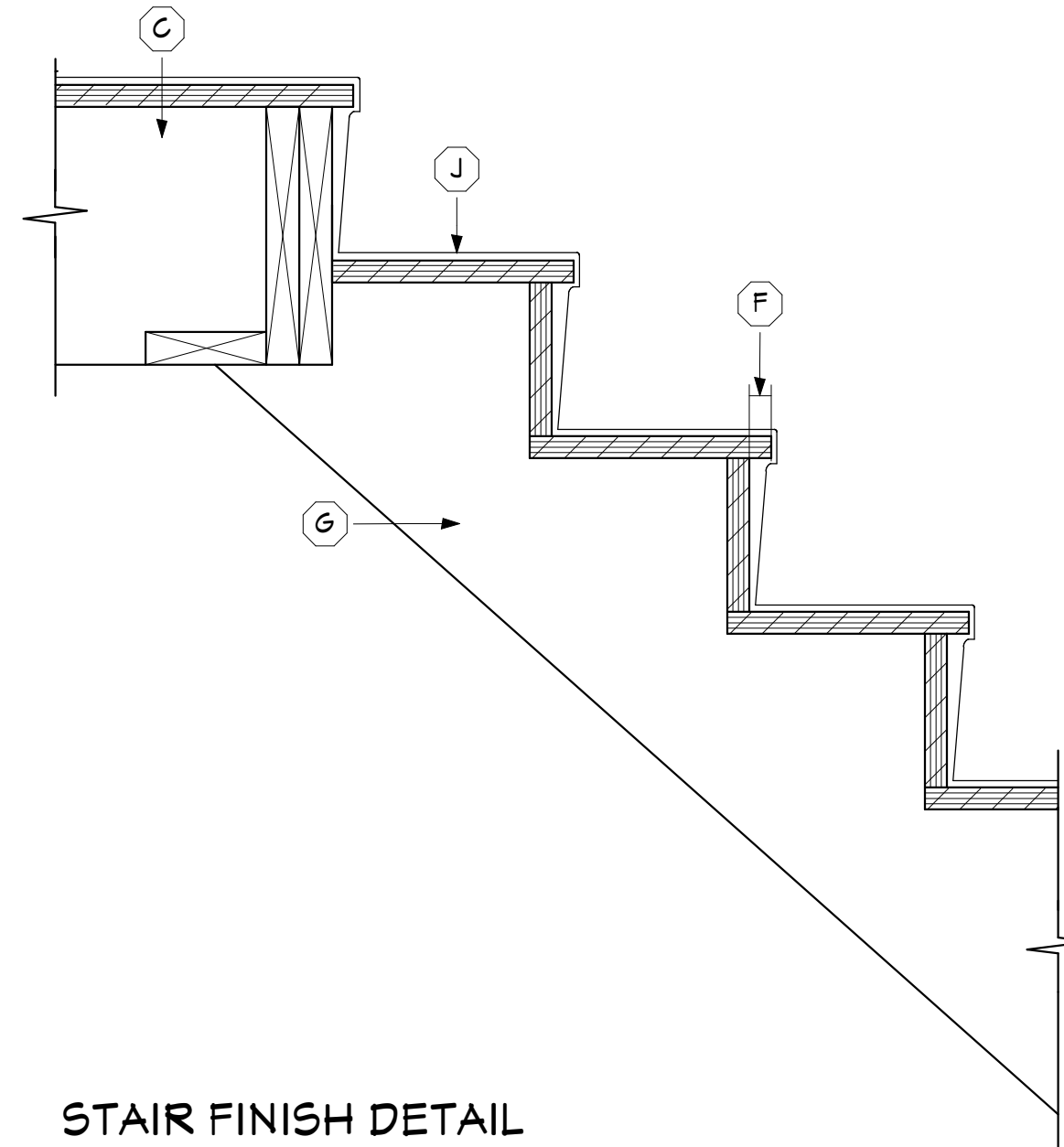
**STAIR NOTES**

1. HANDRAILS
    - Provide handrail, minimum one side
    - Height of railing above treads shall be mounted at 34" above the nosing line and shall return to the wall at each end
    - Provide 1 1/2" clear between handrail and wall
  2. TREADS
    - Treads no less than 10" and shall not vary by more than 3/8" from maximum to minimum size
  3. NOSING
    - Provide tread nosing greater than 3/4" and less than 1 1/4"
  4. RISERS
    - Risers shall be no greater than 6 1/4"
    - Risers to be sufficiently solid to prevent passage of objects larger than 1/4"
  5. HEADROOM
    - Provide a minimum headroom of 6'-0". Protect stairways with accessible space below with a minimum of 1/2" gypsum drywall (fire-rated if required)
- NOTE: Verify all minimum/ maximum measurements with local ordinances



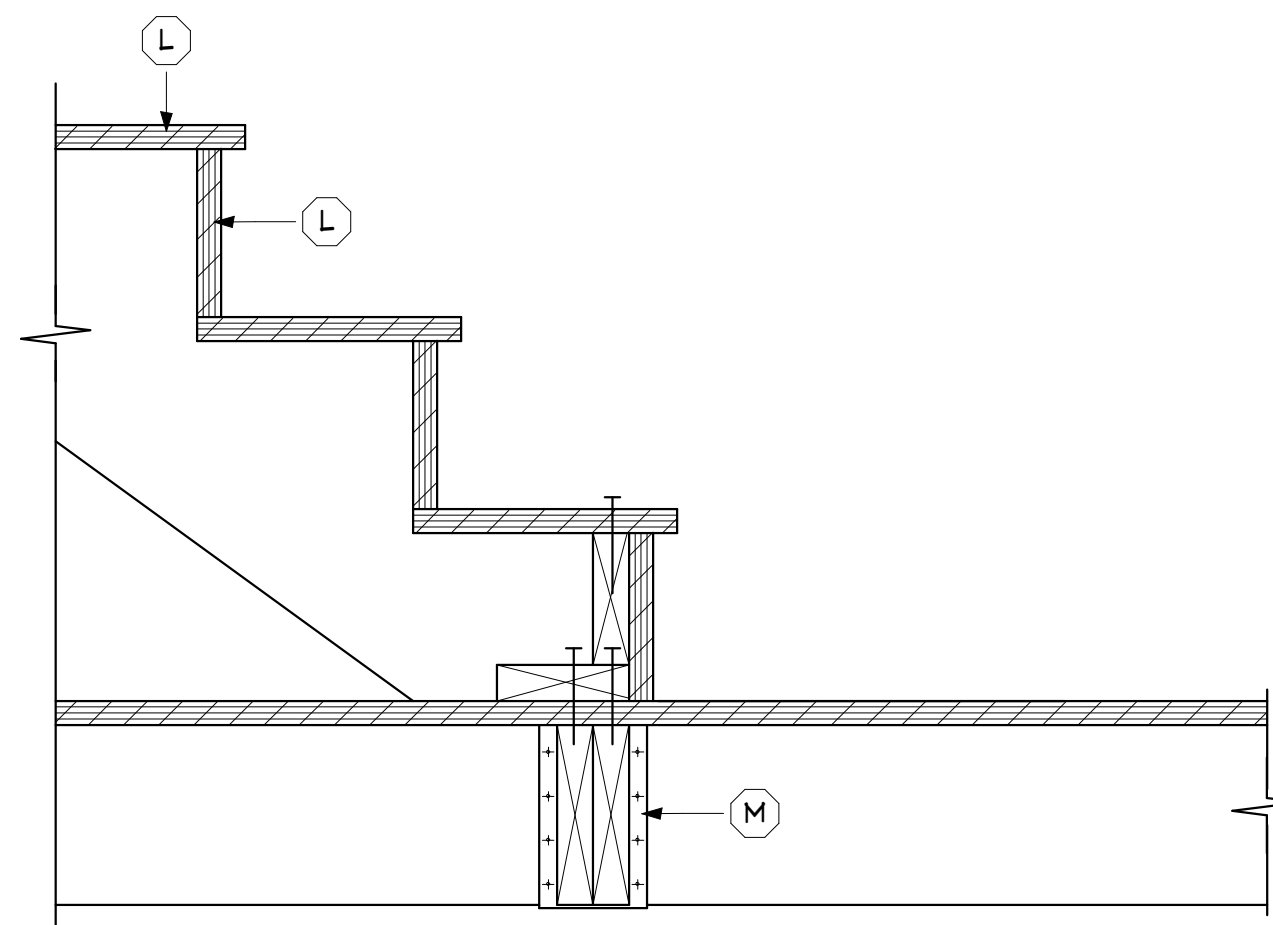
**STAIR HEAD**

NO SCALE



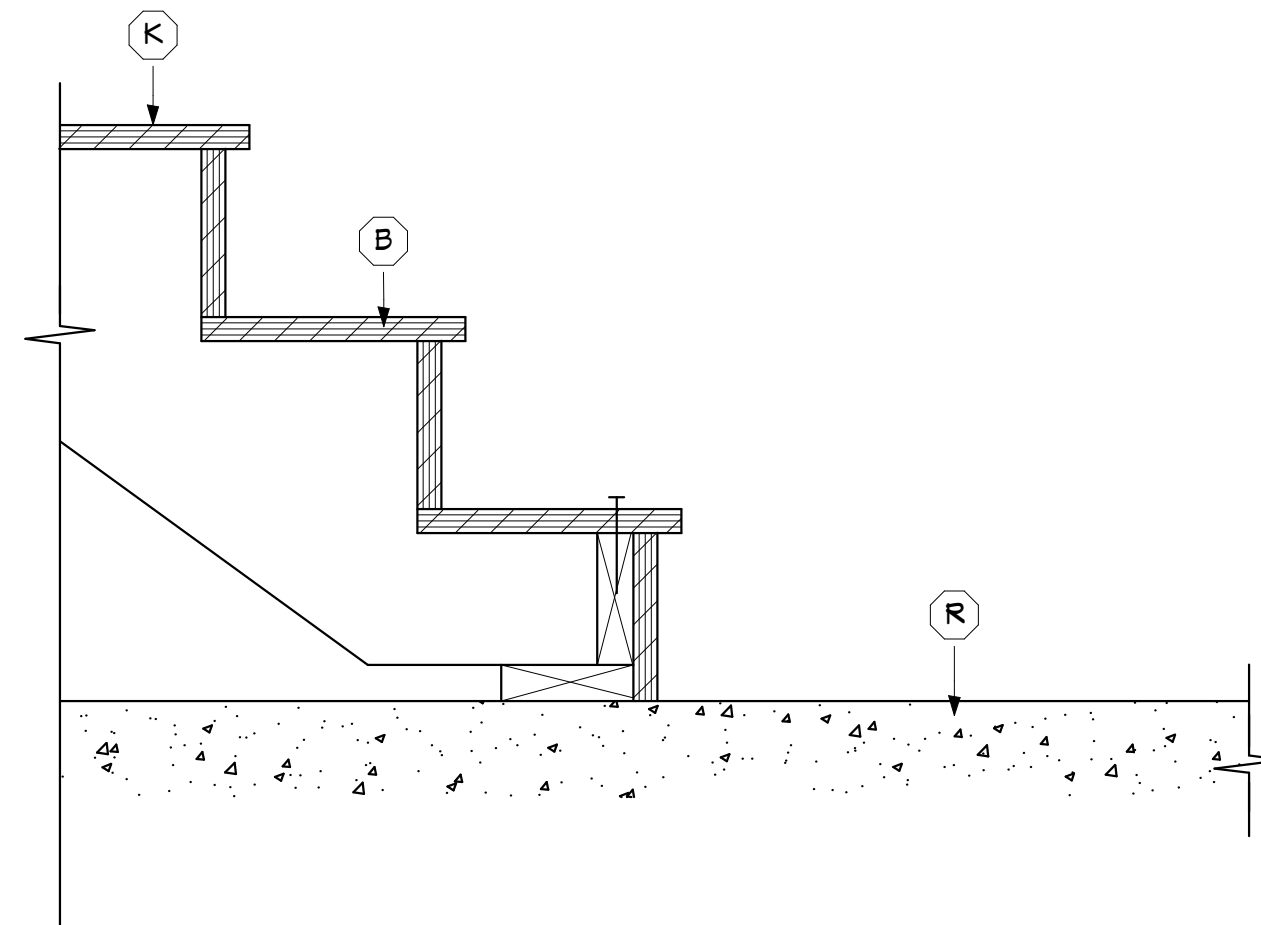
**STAIR FINISH DETAIL**

NO SCALE



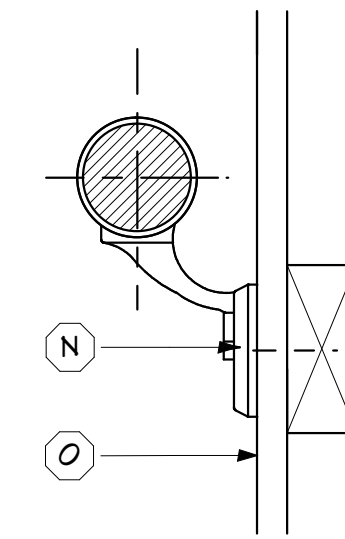
**STAIR SILL AT WOOD FLOOR**

NO SCALE



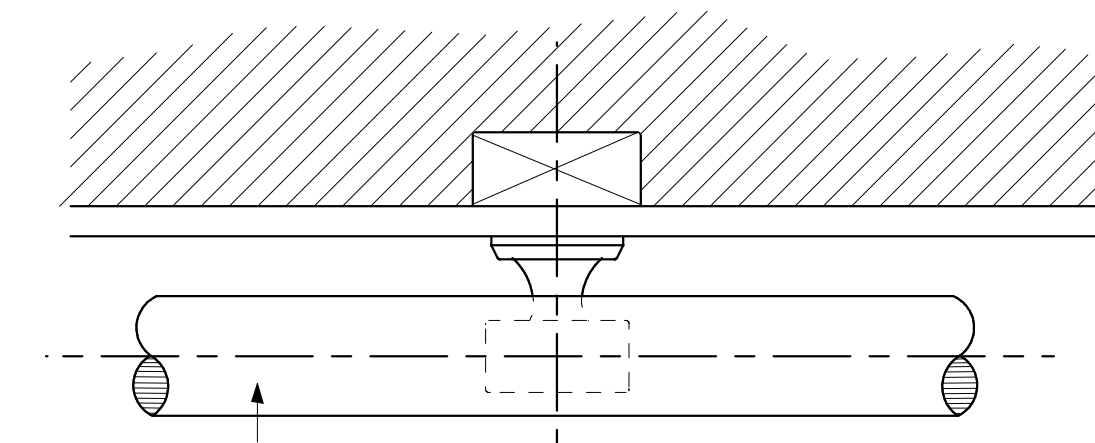
**STAIR SILL AT CONCRETE FLOOR**

NO SCALE



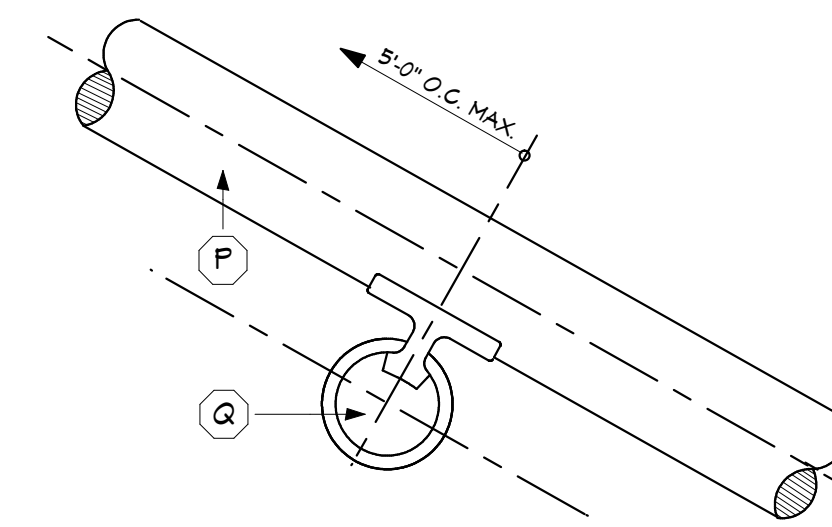
**RAIL- SECTION**

NO SCALE



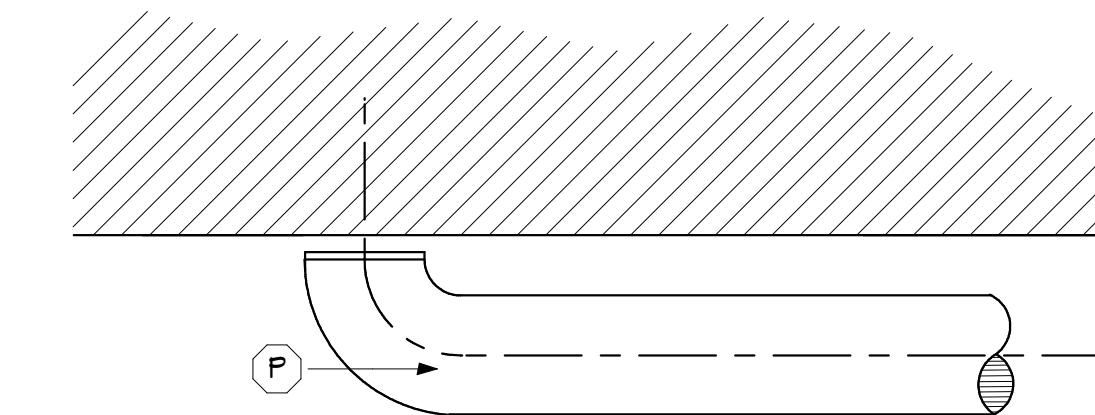
**RAIL- PLAN VIEW**

NO SCALE



**RAIL- ELEVATION**

NO SCALE



**RAIL- END RETURN**

NO SCALE

**STAIR AND RAIL DETAILS**



NOTE: REFER ALL QUESTIONS REFERRING TO THIS PLAN SET TO BUILDERS OFFICE

PREPARED BY:

PHONE:  
 PREPARED FOR:

TO THE BEST OF MY KNOWLEDGE THESE DRAWINGS ARE DRAWN TO COMPLY WITH OWNERS' REQUIREMENTS AND ALL APPLICABLE CODES. THE DRAWING IS NOT TO BE USED FOR ANY OTHER PURPOSE. AFTER PRINTS ARE MADE WILL BE DONE AT THE OWNERS AND/OR BUILDER'S EXPENSE AND WITHOUT THE ARCHITECT'S RESPONSIBILITY. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE PREPARATION OF THIS PLAN TO AVOID MISTAKES. THE ARCHITECT CAN NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED IN THESE DRAWINGS. THE ARCHITECT'S CORRESPONDING DETAILS PRIOR TO CONSTRUCTION AND BE SOLELY RESPONSIBLE THEREAFTER. REFER ALL QUESTIONS ABOUT THIS PLAN SET TO OWNER AND/OR BUILDER.

AUSEL  
 (2169-20)  
 RESIDENCE/ HOME OWNER

03-14-2021  
 03-17-2021  
 06-11-2021

PLOT DATE

7  
 2169-20